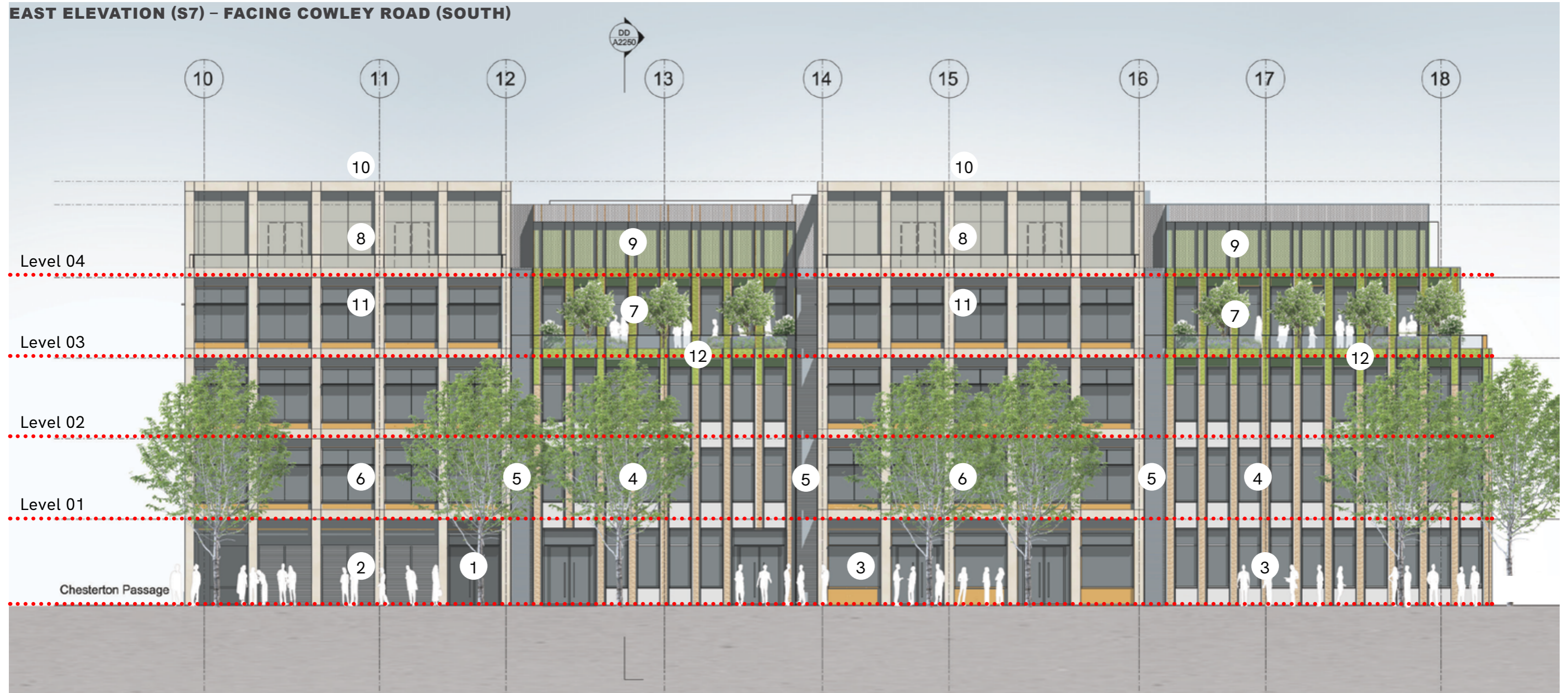


1&3 STATION ROW (S6&S7) ELEVATIONS

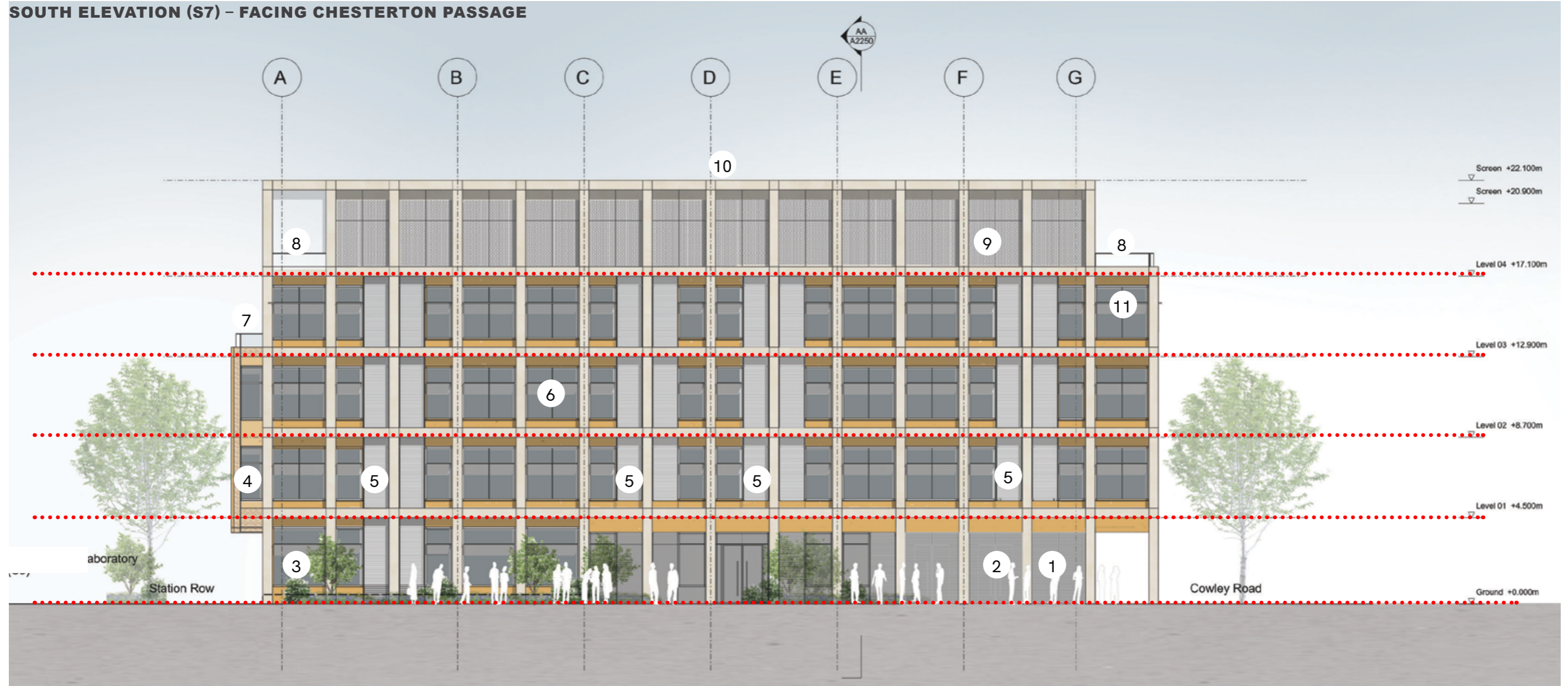


- 1. Pedestrian colonnade adjacent to Cowley Road (South).
- 2. Full-height louvred screen, incl. door sets, behind for plant and store rooms
- 3. Larger ground floor with large windows and low level metal spandrels.
- 4. Single bay windows within brick piers and metal reveals. Two tones of colour finish (silver and bronze).

- 5. Full height louvres and louvred spandrels to create shadow feature between the building 'fingers'.
- 6. Double bay windows with precast concrete frame and upper and lower metal spandrels.
- 7. Level 03 terrace with metal and glass balustrade and raised planters for trees.
- 8. Level 04 terrace providing access to plant area.

- 9. Metal frame continues to frame perforated metal screen behind.
- 10. Precast concrete-framed grid raised to screen PV panels and plant beyond.
- 11. External brise soleil to level 03.
- 12. Glazed green bricks to provide visual contrast in key views.

1&3 STATION ROW (S6&S7) ELEVATIONS



- 1. Pedestrian colonnade adjacent Cowley Road (South).
- 2. Inset full height windows, sliding entrance doors and metal soffit to the lower level.
- 3. Larger ground floor with large windows and low-level metal spandrels.
- 4. Single bay windows within brick piers and metal reveals.

- 5. Full-height louvres and louvred spandrels behind pre-cast concrete grid.
- 6. Double bay windows with precast concrete frame and upper and lower metal spandrels.
- 7. Level 03 terrace with metal and glass balustrade and raised planters for trees.

- 8. Level 04 terrace providing access to plant area with setback perforated metal screen.
- 9. Perforated metal screen behind precast concrete frame hiding plant beyond.
- 10. Precast concrete framed grid raised to screen PV panels and plant beyond.
- 11. External brise soleil to level 03.

1&3 STATION ROW (S6&S7) WORKING STRATEGIES



ACCESS AND SERVICING – BASEMENT

Combined basement provision includes:

1. Cycle provision for 1 Station Row based on 1 per 30m² (GIA)

Basement provision: 274 two storey racks
18 large cycle stands
36 Sheffield stands

Total 345 spaces (including ground)

2. Cycle provision for 3 Station Row based on 1 per 30m² (GIA)

Basement provision: 288 two storey racks
18 large cycle stands
40 Sheffield stands

Total 366 spaces (including ground)

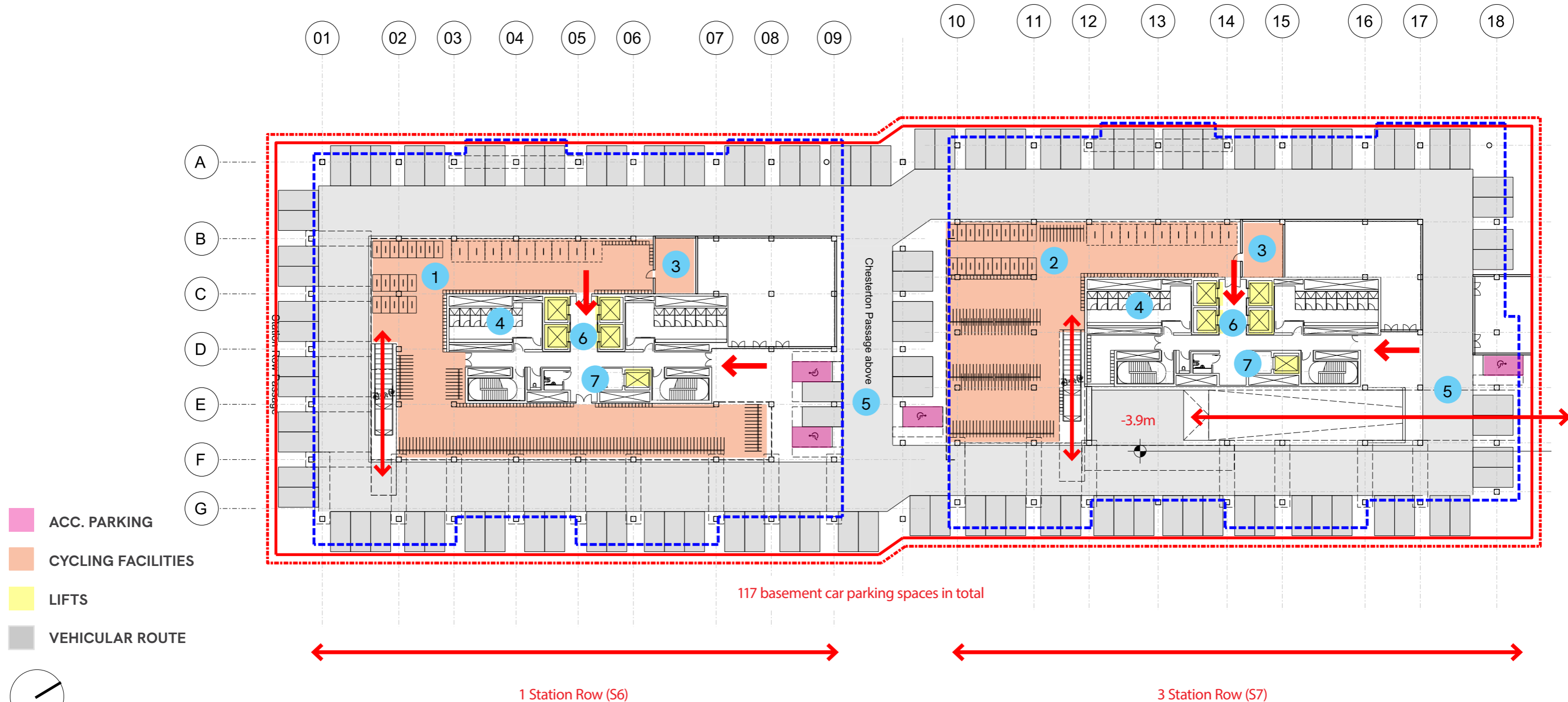
3. Drying rooms and lockers

4. Shower and changing facilities

5. Accessible parking bays

6. Four passenger lifts serving basement to level 03

7. Dedicated services lift serving basement to level 04



1&3 STATION ROW (S6&S7) WORKING STRATEGIES



ACCESS AND SERVICING – BASEMENT

Ground floor provision includes:

1. Cycle provision for 1 Station Row based on 1 per 30m² (GIA)

Ground floor provision: 17 large cycle stands

2. Cycle provision for 3 Station Row based on 1 per 30m² (GIA)

Ground floor provision: 20 large cycle stands

3. Accessible drying rooms and shower/changing facilities

4. External visitor cycle parking in addition to provision

5. Refuse stores, sized according to site wide strategy

6. Four passenger lifts serving basement to level 03

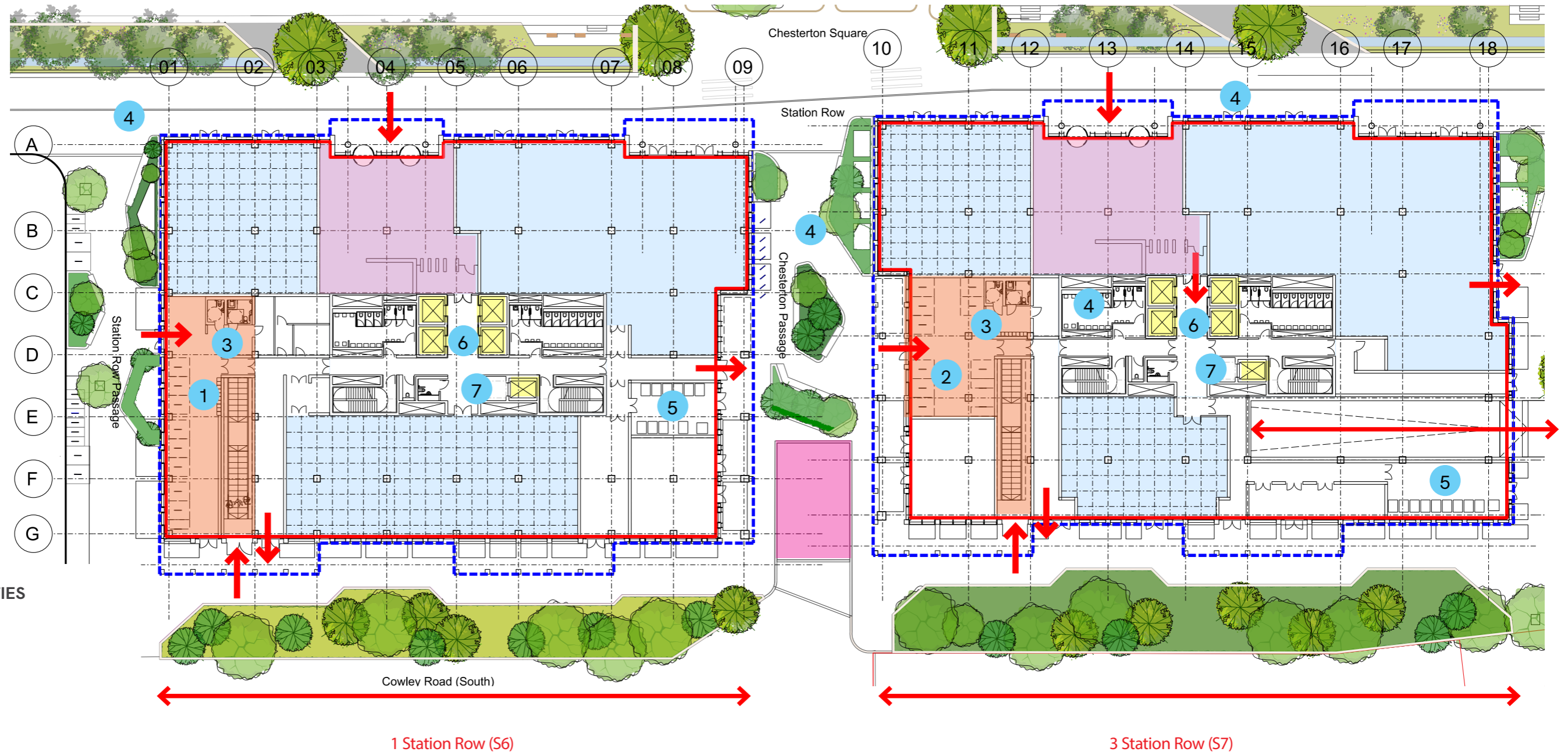
7. Dedicated services lift serving basement to level 04

Total

345 spaces (including ground)

Total

365 spaces (including ground)



1&3 STATION ROW (S6&S7) WORKING STRATEGIES



MAINTENANCE

The maintenance strategy has been developed alongside Hilson Moran.

The accessible urban landscaping around the building perimeter has been designed to accommodate a suitable mobile elevated work platform (MEWP).

Alternate strategies have also been progressed, should areas identified not be accessible due to the detailed design of adjacent landscaping. These include a davit system to be discreetly incorporated in the building setbacks and terraces, to provide an alternate safe working platform for regular access and maintenance.

Davit system, roof rigged or ground rigged (under 30m) with a powered cable.



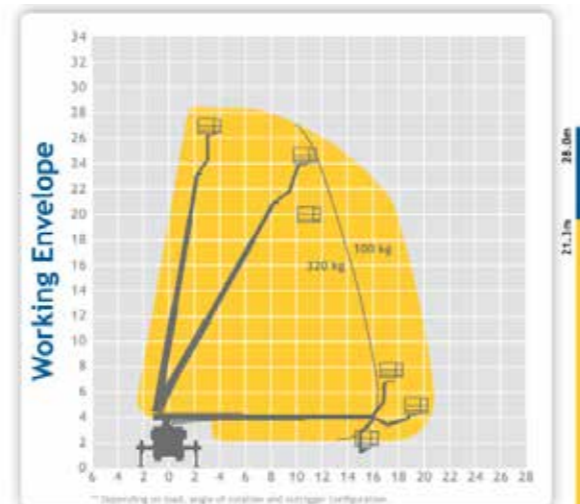
A 28m truck MEWP is required for S4 Office (27.75m tall).

T28RX truck mounts

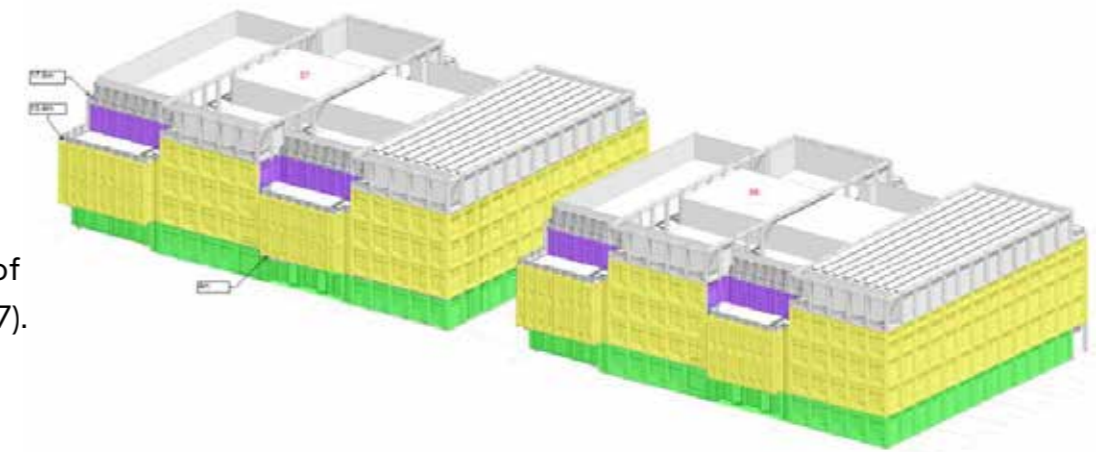
Working Height 28.0m
Outreach 21.3m (100kg)**

Max Horiz. Outreach (full SWL) 16.0m
Max Reach Below 0m n/a
Overall Travel Length 8.12m
Overall Travel Height 3.8m
Overall Travel Width 2.5m
Platform Cage Size 1.7m x 0.86m
Max SWL 320kg
Gross Vehicle Weight 11000kg
Operational Full Width 3.8m
Minimum Operational Width 2.5m
Point Load Front / Rear 110kN/50kN

Alternative machines
T26CX
T26KX
Manufacturer
Ruthman



Access strategies for maintenance of façades to 1 & 3 Station Row (S6 & S7).



- LOW LEVEL ACCESS
- MEWP ACCESS
- DIRECT BALCONY ACCESS
- MEWP ACCESS WITH POTENTIAL ALTERNATE DAVIT ARRANGEMENT