

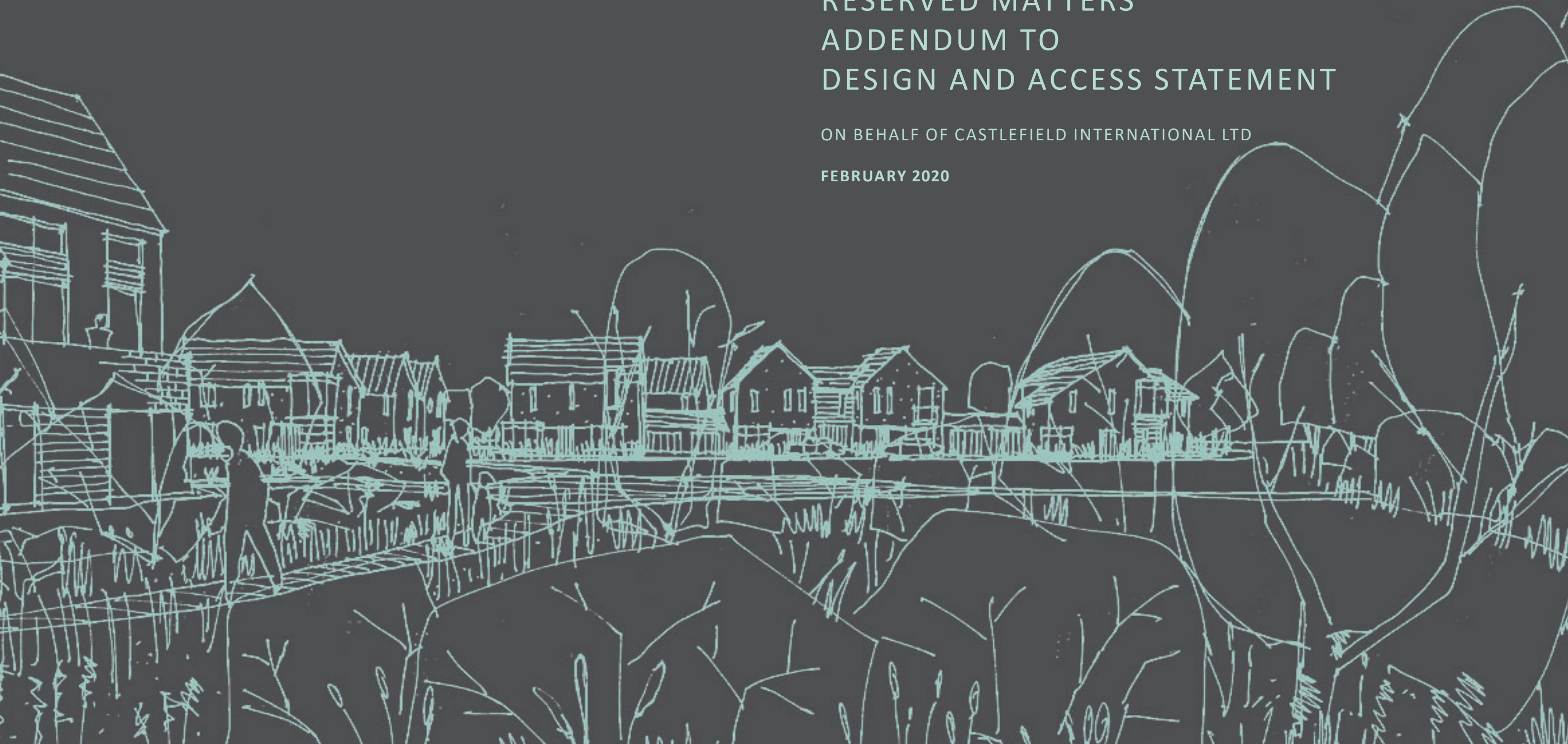
LAND AT TEVERSHAM ROAD

# FULBOURN

RESERVED MATTERS  
ADDENDUM TO  
DESIGN AND ACCESS STATEMENT

ON BEHALF OF CASTLEFIELD INTERNATIONAL LTD

FEBRUARY 2020



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# 1. INTRODUCTION

# 1.0 INTRODUCTION

## 1.1 SCOPE AND CONTENT OF DOCUMENT

This Addendum forms part of the supporting documentation for the Reserved Matters Planning Application (LPA Ref: S/3290/19/RM) submitted on 20th September 2019 to South Cambridgeshire District Council on behalf of Castlefield International Limited relating to the development of land at Teversham Road, Fulbourn (the Site); and is described as:-

“Reserved Matters application pursuant to outline planning permission ref. S/0202/17/OL providing details relating to layout, appearance, landscaping, scale, and detailed design of the access arrangements in accordance with the previously approved access point onto Teversham Road, for a development scheme to provide 110 residential dwellings together with associated provisions, including public open space and landscaping enhancements.”

This Addendum is a summary of the amendments made to the application drawings following meetings and feed-back from the LPA Urban Design, Ecology, Landscape, Trees and Hedges Consultancy Units, the Housing Officer, the Planning Case Officer and technical feed-back in respect of engineering matters such as drainage and highway arrangements.

This document should be read with the amended application drawings and the Design and Access Statement, September 2019 (DAS). The DAS illustrates the design principles and concepts that underpin the application proposal and the steps taken to appraise the context of the proposed development and how the design has taken this into account.

## 1.2 PLANNING CONTEXT

An Outline Application (LPA Ref S/2273/14/OL) made in 2014 was refused. A subsequent appeal was dismissed in November 2016 not on any design, highways or delivery issues but on open space management.

A second outline planning application (LPA Ref S/0202/17/OL) was submitted to South Cambridgeshire District Council in 2017 with revised Heads of Terms ensuring the open space issue was acceptable and was approved in October 2017.

In terms of the design process, the key document on the Outline Application was the approved Parameters Plan ref 22430-M06 Rev E. It is recognised that the Parameter Plan is the starting point for the Reserve Matters detail. It sets specifically the area and location for buildings; both new and existing open spaces and landscape; and vehicular and pedestrian access and circulation.

In addition to the design details in the Parameter Plan, there are 29 planning conditions applying special restrictions and guidance on the development which must be followed, such as the affordable housing provision.














	Application Site Boundary
	Residential Development, up to 2.5 storey Eaves height above grade - up to 6m Ridge height above grade - up to 10.5m
	Open Space, including proposed planting, children's play areas, footpaths, boardwalks, SuDS and occasional parking
	Existing Vegetation, including root protection areas, to be retained, managed and enhanced Note: clearance as necessary to enhance stream ecology and accommodate vehicular route as indicated and pedestrian/cycle crossings as appropriate
	Proposed Boundary Planting (included in rear gardens)
	New Boundary Planting within Open Space
	Existing Watercourse
	Zone for Vehicular Route
	Zone for up to 2 Vehicular Links
	Ornamental Garden retained and enhanced
	Primary vehicular access point
	Pedestrian/cycle/emergency access
	Pedestrian/cycle access





Figure 1. Outline Approved Parameters Plan





## 2. DESIGN EVOLUTION & INVOLVEMENT

# 2.0 DESIGN EVOLUTION & INVOLVEMENT

## 2.1 SUBMITTED RM LAYOUT

REF: S/3290/19/RM

The layout opposite, submitted to South Cambridgeshire District Council for RM application, had evolved in accordance with the outline application principles, in collaboration with the LPA, with reference to the Fulbourn Village Design Guide SPD, April 2019, Fulbourn Conservation Area Draft Council Document 2007 and the South Cambridgeshire District Design Guide SPD 2010.

It had been designed acknowledging the local historic village inbuilt grain and appearance; the distinct character areas within Fulbourn ; established open entrances; key vistas; and building framing to maintain open countryside views and improve pedestrian and cycling permeability through the Site to the village core.

The layout was to provide a new central meadow park for village community integration and improve and enhance existing natural features within the Site and hence the ecology with sensitive treatment of public realm to include tall trees, hedges and boundary walls.

Overall, the layout was to integrate design, landscape, ecology and surface water attenuation into an integrated system with the existing chalk stream network and Pump House pond.



Figure 2. RM Submitted Proposed Site Layout Plan 20th September 2019



## 2.2 PLANNING CONSULTATION

Since the Reserve Matters submission, there have been a number of planning consultation responses and subsequent meetings with South Cambridgeshire District Council to discuss progress forward in addressing the design and technical feed-back from the Case Officer, Katie Christodoulides and various planning consultees including the following:-

- Urban Design, Tom Davies; 08.11.2019
- Landscape, Carol Newell; 22.10.2019
- Ecology, Sarah Dale; 24.10.2019
- Highway, Vikki Keppey; 15.10.2019
- Trees & Hedgerows, Miriam Hill; 22.10.2019
- Drainage, Julia Beeden; 15.10.2019
- Sustainability, Tracy Martin; Huntingdon District Council

Technical matters, namely highways, drainage and environmental, are covered directly by the associated Drainage, Highway and Environmental Consultants amended submissions which correspond to the revised design and landscape submissions and shall not be detailed in this Addendum.

A meeting was held at the Council offices on the 10th December 2019 to discuss comments made by the Case Officer, Urban Design Officer and Landscape Officer. Following is a general overview to areas which required reconsideration in response to consultee feedback on the original submitted documentation.

**LEGEND**

- Affordable Rented
- Shared Ownership

## 2.3 LAYOUT

The Case Officer and Urban Design Officer had a number of comments relating to the proposed layout of the development. The following comments and proposed methods of addressing these comments are arranged below. Where required these were further developed through illustrations presented at the meeting held on the 10th December; and through further discussions before formal submission of the revisions.

### Consultees raised the following comments:

1. Affordable housing located in all apartment blocks and not housing to allow for tenure blind scheme.

### The design response to Consultee's comments

1. The affordable housing has been relocated around the development to provide 2no 2 bed houses, 6no 2 bed flats and 8no 1 bed flats as rented and 2no 2 bed houses, 5 no 3 bed flats and 10 no 2 bed flats as shared ownership. Apartment Blocks A, B, C & C1 were redesigned to facilitate this. Locations of affordable housing is noted on the revised site plan Figure 19



Figure 3. Allocation of Affordable Housing on RM Submitted Site Layout Plan



Figure 4. Allocation of Affordable Housing on Revised Site Layout Plan



## 2.3 LAYOUT CONTINUED

### Consultees raised the following comments:

2. Awkward street break between Apartment block A and plot 55. Recommends additional residential unit to close space.
3. Apartment block B splayed frontage to spine road awkward. Recommends re-arranging.

### The design response to Consultee's comments

2. Apartment Block A was redesigned to create a drive through with parking court hidden by the building mass beyond, closing the space between the apartments and house and reinforcing the streetscene. This also allows for more usable private space.
3. Apartment Block B was redesigned to remove the splayed frontage. Also, like Apartment Block A, a drive through was created, screening the parking court and reinforcing the streetscene.



Figure 5. Configuration of Apartment Blocks A & B on RM Submitted Site Layout Plan



Figure 6. Configuration of Apartment Blocks A & B on Revised Site Layout Plan

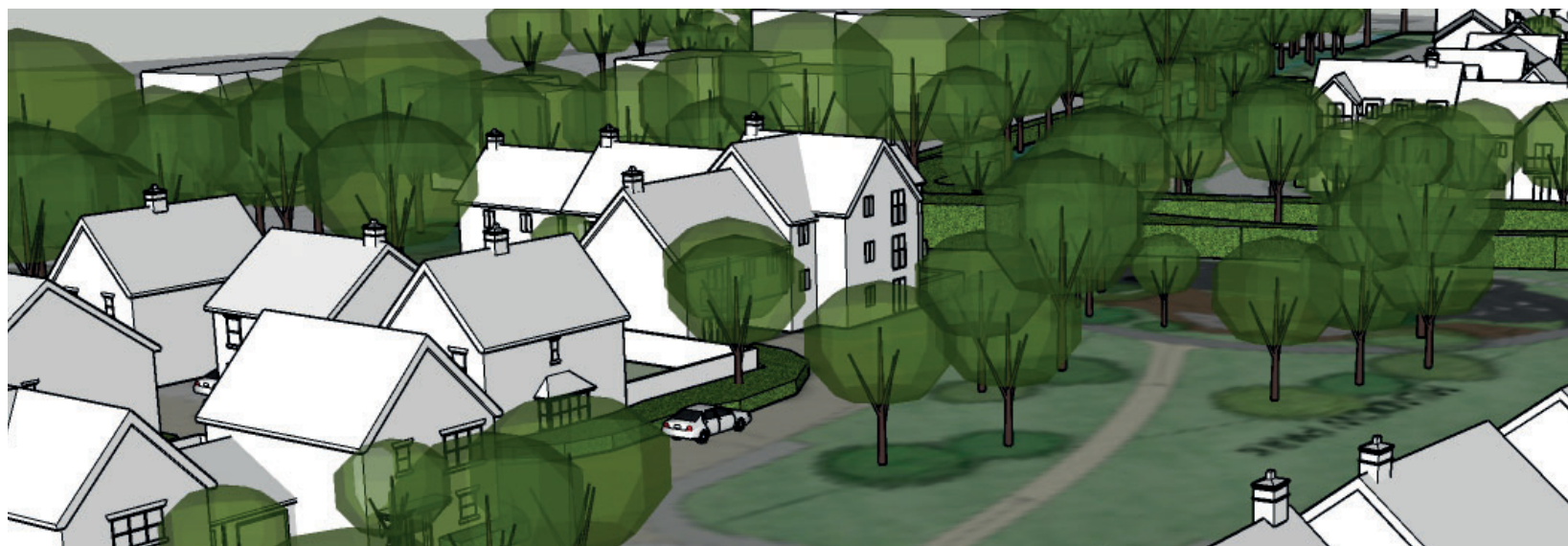


Figure 7. Proposed Overview of Apartment Block A to form Streetscene Enclosure



**Consultees raised the following comments:**

4. Integrate Apartment Block C1 bin store.
5. Parking for plots 10-14, 15-23, 24-29, 29-32, 90-93 and 98-101 dominates the public and semi-public realm. Para 6.82 of the 'District Design Guide' (2010) which is that: "Parked cars should not be allowed to dominate the street scene; they should preferably be accommodated within, beneath, or at the side or rear of buildings" Recommends additional parallel parking to opposite side of road for plot spaces 10-29 to allow space for landscape in current location. Car Parking for plots 90-93 & 98-101 to be reconfigured when reviewing terrace layout and density.

**The design response to Consultee's comments**

4. Apartment Block C1 had the bin store integrated into the building footprint.
5. Parking for plots 10-14, 15-23, 24-29, 29-32, have been spread out with additional landscaping so as not to dominate the streetscene. A tree-lined frontage is created. Parking for plots 90-93 and 98-101 has been reconfigured; see Item 9 & 10 on following page.



Figure 8. Proposed Overview of Parking and Landscaping to front of Apartment Blocks C, C1, D & D1 to reduce impact of Parked Cars on Streetscene



## 2.3 LAYOUT CONTINUED

### Consultees raised the following comments:

6. Short streets N and S off Linear Park do not have a coherent street response, separate character nor responses well moving into green space. Refer to Draft 'Fulbourn Village Design Guide' (2019) Fig. 40 which advises grouping of houses around courtyards and trees in public realm. Example of best practise- The Avenue, Saffron Walden.
7. Two rows of terraces plots 90-93 & 98 -101 are high density and formal for edge of village location. Reconsider arrangement with gaps between dwellings to accommodate parking at their sides.

### The design response to Consultee's comments

6. Housing density has been reduced on the north short streets to reflect the character area. Additional open space and landscaping allows an easy flow into the green space beyond. To the south, the short streets allow clustering of housing to form courtyard enclosure with openings to allow easy access to green space beyond.
7. The terracing to the short streets on the north side of Linear Park have been removed and housing density reduced to reflect the character area. Parking has been reconfigured to remove the dominance of car parking in the streetscene.



Figure 9. Configuration of North Side Streets on RM Submitted Site Layout Plan



Figure 10. Configuration of North Side Street on Revised Site Layout Plan



Figure 11. Configuration of South Side Streets on RM Submitted Site Layout Plan



Figure 12. Configuration of South Side Street on Revised Site Layout Plan



**Consultees raised the following comments:**

8. Dwellings (below) not meeting minimum distances for avoiding overlooking habitable rooms as para 6.68 of the 'District Design Guide' (DDG) (2010): "For two storey residential properties, a minimum distance of 25m should be provided between rear or side building faces containing habitable rooms; which should be increased to 30m for 3 storey properties"

- Plots 39 and 40, rear elevations 22m from rear of apartment block B.
- Plots 56 and 57, rear elevations 20m from rear of apartment block A.
- Plot 78, rear elevation 20m from the rear of plot 81.
- Plot 85, side elevation 15m from rear of plot 86.
- Plot 86, side elevation 5m from side of plot 87.
- Plot 87, side elevation 5m from side of plot 88.

Overall, 20% of dwellings not meeting minimum

9. Plots 38, 90 and 101 lack adequate informal surveillance over open space and footpath. The dwelling at plots 76 and 84 lacks sufficient fenestration on the side elevations (facing south) to provide some informal surveillance for the footpath. Officers request that the fenestration for these dwellings is reconsidered.

**The design response to Consultee's comments**

8. The layout has been changed to ensure that there is no overlooking in accordance with para 6.68 of the DDG (2010).

- Apartment Block B is now 2 storeys and more than 25m from the rear of Plots 39 and 40.
- Apartment Block A is now 2 storeys and more than 25m from the rear of Plots 56 and 57.
- Distance and obtuse angle increased between Plot 78 (now 80) and rear of plot 81 (now 83). This was agreed at the 10.12.2019 meeting with the Planning and Urban Design Officers.
- Plot 85 (now 87) has no upper floor windows to overlook rear of plot 86 (now 88).
- Plot 87 (now 89) has no side windows overlooking plot 86 (now 88).
- Plot 88 (now 90) has no side windows overlooking plot 87 (now 89).

9. Plots 38, 90 (now 92) and 101 have been provided with bay windows to provide informal surveillance over open space and footpath, as have, plots 87, 102 and 110. The dwelling at plots 76 (now 78) and 84 (now 86) have been provided with bay windows to provide informal surveillance over open space and footpath, as have, plots 57, 58, 67, 68 and 77.



Figure 13. Proposed overview of north side with informal surveillance onto open Green Space



Figure 14. Proposed overview of south side with informal surveillance onto open Green Space



## 2.3 LAYOUT CONTINUED

### SITE SCREENING

The existing chalk stream which bisects the site from north to south forms an existing substantial barrier both physically, by the existing drainage ditch; and visually with the mature hedging and trees which grows along the chalk stream.

It is the intension to preserve the natural habitat and eco-system along the chalk stream with careful planting enhancement, thus increasing the natural screening between what is in effect two sites connected by the proposed bridges.

The Fulbourn Village Design Guide SPA discusses the importance of maintaining open views from Cow Lane by Poor Well across the site and chalk stream to the open countryside beyond (ref Section 5.6, Figure 16 and Terersham Road Site Figure 46). However, in reality, the existing chalk stream planting already screens this view as does the existing planting which runs along the northern boundary adjacent to the railway track.

The illustrations opposite demonstrate the effective screening the existing hedges and trees will have across the site.

### ROAD LAYOUT

Throught out the consultation process with the Council's planning team, there had been concerns about engendering anti-social behaviour and high speeds in the vicinity of Linear Park with the proposed configuration of the vehicular access loop.

The loop has been removed and the Linear Park extended. Revised pathways routes optimise on this and allow a greater integration of pedestrian movement from east to west via Cox's Drive.

Access from Cox's Drove is primarily for cycle and pedestrians. However, there is a controlled access point using hard measure kerbs with central low planter suitable for emergency vehicles only.



Figure 15. Illustrational street level view looking West across the LEAP towards the chalk stream.



Figure 16. Illustrational street level view looking East towards the chalk stream.



Figure 17. Configuration of Loop Vehicular Access on RM Submitted Site Layout Plan



Figure 18. Removal of Loop Access on Revised Site Layout Plan







## 2.4 SCALE

### Consultees raised the following comments:

1. 2.5 storey buildings proposed in centre of the development supported to better address centre of the site/ overlooking children's play area. However, consider Plot 85 more suitable as 2 storey dwelling for edge location within site.
2. Consider reducing the amount of 2.5 storey building proposed across the site.

### The design response to Consultee's comments

1. Plot 85 (now Plot 87), located to the northern edge of the site adjacent to the chalk stream as been changed to a 2 storey dwelling. Plots 86 to 88 have also been reduced from 2 1/2 storey to 2.
2. Apartment Blocks A & B are now a mix of 2 1/2 to 2 storey, stepping down from 2 1/2 storey key frontage corners addressing the open play area to 2 storeys along green edges.

Figure 20, below, provides an overview of the revised building height for the proposed development.

As can be seen, the majority of the height of buildings is 2 storeys with the exception of the corner units of Apartment Blocks A & B which are 2 1/2 storeys. These units all provide key corner frontage and way finding points around the larger open green area of Meadow Park and are located away from the rural aspect of the northern boundary. The Fulbourn Village Design Guide SPA confirmed that 3 storey buildings, although not common within the village, can be considered if designed appropriately. It was considered that a full 3 storey building was not necessary for the site not only from an urban design response but also due to it's proximity to open countryside.

Figure 20 illustrates the building height comparisons of various apartments and house types across the site and the reduction of building mass of Apartment Block A. Apartment Block B is similar. The total percentage of units at 2 1/2 storeys equates to 1.8%.



Figure 20. Analysis of building heights across the site





Figure 21. Proposed Site Plan Showing Building Heights



## 2.5 USE AND AMOUNT



Figure 22. Proposed Site Plan Showing Unchanged Housing Mix in New Locations

Unit Type	Unit No.
<b>Market Housing</b>	
2 bed apartment	4
2 bed house	19
3 bed house	31
4 bed house	19
5 bed house	4
<b>Total</b>	<b>77</b>

Unit Type	Unit No.	Unit No.
<b>Affordable Housing</b>		
	Shared Ownership	Affordable Rented
1 bed apartment	0	8
2 bed apartment	10	6
3 bed apartment	5	0
2 bed house	2	2
Sub-total	17	16
<b>Total</b>		<b>33</b>

Figure 23. Accommodation Schedule



## 2.6 APPEARANCE

The Case Officer and Urban Design Officer had a number of comments relating to the proposed materials and location, appropriateness to the character areas created.

### Consultees raised the following comments:

1. Question design of catslide gable apartment blocks C and D and are incongruous with the symmetrical design of the front elevations. Provide street elevation drawing for plots 5 to 30 to assess how apartments C, C1, D and D1 look together.

### The design response to Consultee's comments

1. The catslide gable as been removed from Apartment Blocks C and D but the front elevations cannot be totally symmetrical due to plan layout and offsetting of entrance doors with different window configurations. The introduction of gables to each residential unit along this street provides continuity of architectural language. A street elevation has been prepared to provide context. See figure 24 below.



Figure 24. Allocation of Affordable Housing on Revised Proposed Site Layout Plan

## 2.6 APPEARANCE CONTINUED

### Consultees raised the following comments:

2. Plots 55-79 in the same material and colour; Cambridge brick with grey slate roof are repetitive and should be reconsidered to add variety. Recommends change brick and roof colour to plots 61-62 and 70-71.
3. White bargeboards proposed throughout the scheme but jar with black timber boarding and considered bargeboards to be dark colour and match the window fenestration and drainpipes.
4. Red tile roofs are proposed on several of the dwellings in the 'village streets' character area on the east side of the layout but there does not seem to be a coherent rationale for their position in the layout. Simplifying the roof colours by just proposing brown and grey would be an improvement.
5. Brown coloured porches proposed on house types A, C and E but jars adjacent to black timber boarding. Porches would look better with a grey/black colour.

### The design response to Consultee's comments

2. Plots 55-79 (now 55-81) have been given a variety of roof colour, brown or grey; and brick colour, Cambridge or red multi brick. The revised street elevation can be seen below, Figure 22.
3. The Village Lanes character area which has black timber boarding on key elevations has dark grey bargeboards and windows; and black rainwater ironmongery. The Village Street character area which has a range of Cambridge Buff and Multi-Red brick finishes has a mix of white and dark grey roof timber trims and window frames.
4. Roof colours have been simplified throughout and the reference to red pantiles roof finish removed.
5. Brown roof tiles in the Village Lanes character area to be removed from house types A, C & E where black timber boarding occurs and replaced with grey slate tile.



Figure 25. Village Streets Character Areas Street Elevation showing Variation of Wall and Roof Materials



**Consultees raised the following comments:**

6. The fenestration on the left side for the front elevation of house type F fenestration lacks consistency, alignment and balance.

**The design response to Consultee's comments**

6. The front elevation to House Type F has been revised to ensure alignment and balance. See Figure 27



Figure 26. RM Submitted of House Type F Village Street Character Area Front Elevation



Figure 27. Proposed Revision to House Type F Village Street Character Area Front Elevation



## 2.6 APPEARANCE CONTINUED

### Consultees raised the following comments:

- 7. Apartment Block A elevation facing Meadow Park improved activate ground floor frontage to public space.

### The design response to Consultee's comments

- 7. Apartment Block A has been reviewed and the undercroft car parking spaces replaced with accommodation to provide active frontage at ground floor, particularly overlooking the LEAP on Meadow Park.



Figure 28. RM Submitted of Apartment Block A Meadow Park Elevation



Figure 29. Proposed Revision of Apartment Block A Meadow Park Elevation





Figure 30. Revised Site Plan Showing Proposed Building Material



## 2.7 DETAIL

### Consultees raised the following comments:

- Balconies on all flats. Detailed drawings showing colours and materials requested.

### The design response to Consultee's comments

- Figure 31 shows a detailed section taken through one of the flat balconies. All balcony are to follow the same detail in materials. In terms of colour the powder coated aluminium edge trim and metal handrail shall be dark grey in the Village Lanes character area and white in the Meadow Park character area.

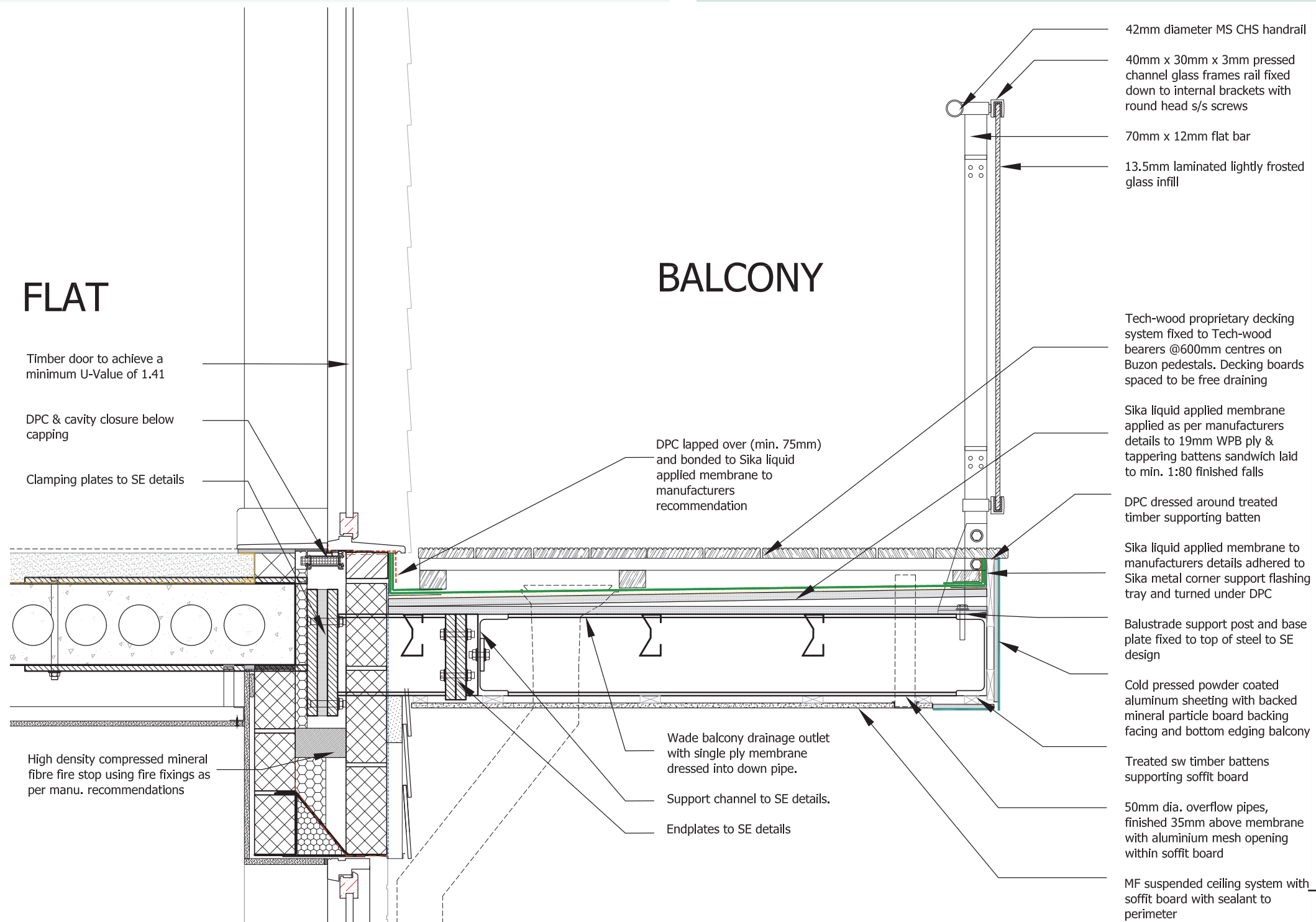


Figure 31. Design Detail Through Flat Balcony



**Consultees raised the following comments:**

2. Submit details on vehicular bridge and footbridge.

**The design response to Consultee's comments**

2. Cambridgeshire County Council (CCC) have no guidance on bridge design hence reference should be made to the Design Manual for Roads and Bridges, Volume 1, Section 3, Part 11 – BA 41/98, particularly regarding scale, appropriateness of design and functionality.

The vehicle road bridge shall be designed to provide a 5.5m carriageway with 2m footpath to one side and 0.5m verge for vehicle restraint / handrail margin. The design of the handrails will be open and lightweight as will be the abutment structure and slim single span girder. No intermediate posts shall be used which may impeded watercourse flow. The bridge is to carry services between the two sections of the site, hidden under the deck and between the supporting girders. If the bridge is to be adopted, detailed discussions with CCC adoptions team will be required at the detailed design stage.

The two footbridges shall be similar in appearance and materials but of an appropriate scale.



Figure 32. Design Detail of Footbridge and Vehicular Bridge

**STANDALONE BICYCLE STORAGE FOR APARTMENT BLOCKS C AND C1**

Bike storage to be a proprietary modular system for holding up to 10 standard sized bicycles on Sheffield stands within a secure, vandal-proof and watertight unit.

Unit to be constructed with a galvanised steel frame with treated stained timber cladding to match residential blocks with galvanised metal roof. Sliding doors to units to be secured with 5 lever mortice deadlock.

Shared Ownership and Private storage to be kept separate.



Figure 33. Design Detail of Standalone Bicycle Storage for Apartment Block C & C1





# 3. LANDSCAPE DETAILS & DEVELOPMENT

## 3.0 LANDSCAPE DETAILS & DEVELOPMENT

### 3.1 LAYOUT

Comment Raised by Consultee	Design Response
<b>Consultation Response from Landscape</b>	
<b>Layout</b>	
Insufficient information for both hard and soft landscape works. The soft landscaping is not of a high quality and fails to integrate the development with its surroundings. Contrary to Policy HQ/1: Design Principles and Policy NH/6 Green Infrastructure	The planting strategy has been revised in line with comments received, ref dwgs TRF-CBA-1-GF-M2-L-4000 and 4001.
Parking layout 10-14 – this is unacceptable and dominates the street scene. Applicant o break layout with both tree and shrub planting beds. Beds to be more than 500mm wide to accommodate planting media.	Additional tree and shrub planting has been incorporated into the car parking arrangement.
Parking layout 24-29 – this is unacceptable and dominates the street scene. Applicant o break layout with both tree and shrub planting beds. Beds to be more than 500mm wide to accommodate planting media.	as above
Pedestrian access for parking bay 15 to be provided to the rear of the apartments.	A gate has been added to the boundary treatment.
<b>Landscaping</b>	
Existing woodland and boundary planting – Applicant to confirm maintenance and management works.	A separate landscape MMP is being prepared and will be submitted for planning.
5yr management and maintenance works to existing and new landscape works to be submitted by the applicant.	as above
Existing pond – what works will be undertaken within and around the pond. Debris removed, reprofiled and or tree canopies raised?	Refer to dwg TRF-CBA-1-GF-M2-L-2001 for proposals on the work to the pond. Detailed proposals on works to the pond walls are subject to detailed surveys to be undertaken during detailed design.
Existing landscape retained – protective fencing to be included	Protective fencing will be provided during construction.
Retained landscape with additional grassland/ scrub – details required.	Refer to the updated planting strategy and planting schedule.
Proposed meadow and Flora Aqua – planting specification required.	AS above



### Landscape Design Strategy

The design has been developed to integrate landscape, ecology and water resources to generate a strong landscape infrastructure that delivers the core principles set out for the development. The site benefits from a number of existing landscape features such as the existing chalk stream, the woodland areas, the Pump House Garden with existing pond, trees and hedgerows with ecological values, and open grasslands. Where possible the existing features have been incorporated and enhanced in the landscape proposals to ensure that the distinct character of the site is maintained. The landscape strategy is composed of the following landscape typologies (see figure).

#### KEY
















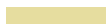
-  Application boundary
-  Other Land Under Applicant's Control
-  Existing Water Course
-  Vehicular access
-  Pedestrian/cycle access points
-  Pedestrian access point
-  Emergency access
-  Wide open views & green space towards the countryside
-  Existing Northern Woodland Area
-  Proposed Northern Boundary Buffer Planting
-  Meadow Park and Chalk stream
-  Formal Play Area (LEAP)
-  Linear Park
-  Perimeter Planting Areas
-  Pump House Garden
-  Proposed Built Area(house, roads, private gardens, etc.)



Figure 35. Landscape Typologies

## 3.2 PLANTING

Comment Raised by Consultee	Design Response
<b>Soft Works</b>	
4000 SERIES Planting Strategy	
<p>Overall, proposed planting is very disappointing and not what was discussed within Design Workshop. 27no. trees upon the whole site is not acceptable.</p> <ul style="list-style-type: none"> <li>• No attempt has been made to create and link with the existing green infrastructure within the centre of the site</li> <li>• Lack of tree and shrub planting within public open spaces</li> <li>• Lack of tree and shrub planting within plot boundaries and adjacent to the public realm.</li> </ul> <p>Applicant to revisit the whole site.</p>	<p>The planting strategy has been revised in line with comments received, ref dwgs TRF-CBA-1-GF-M2-L-4000 and 4001.</p>
Planting schedule and specification required.	Refer to planting schedule and specificatio of planting sizes on dwg TRF-CBA-1-GF-M2-L-4011.
<p>Boundary treatment around attenuation ponds are to be removed. The use of barriers and fencing around detention ponds are be avoided and should not be the approach to making SuDS features safe. The detention pond is to be designed with gentle sloping sides and /or planted with vegetation to act as a barrier to unintended entry into the water. Landscape architect to work with the drainage consultant to create an attenuation pond which is accessible to the public with enhancement planting. Applicant to consider the following when designing the attenuation ponds - Create a naturalistic edge with gentle sloping sides of varying slope gradients. Planting within and around the ponds to also respect the local landscape character.</p>	<p>The boundary treatment has been removed, ref dwg TRF-CBA-1-GF-M2-L-8500 for a detail of the proposed low earth mound.</p>
<p>Drainage – Headwalls and culverts to respect the local landscape character. Applicant to consider green alternatives or natural stone headwall structures rather than pre-cast concrete and other in-situ solutions.</p>	Green alternatives for headwalls and culverts
Movement of hedgehogs – key not clear upon overall layout. Applicant to indicate.	The note on dwgs TRF-CBA-1-GF-M2-L-1010 and 1011 has been updated in line with comments received.
<p>Decking and boardwalk with fencing – Applicant to confirm finished heights of decking above existing ground level. Is a handrail required? Applicant to visit Wicken Fen Nature Reserve to see a successful scheme.</p>	Refer to dwg TRF-CBA-1-GF-M2-L-8000 for details on the decking heights and handrails.
Vehicular bridge and foot bridge – details to be provided in addition to DAS.	Refer to dwg TRF-CBA-1-GF-M2-L-8000 for details on the footbridge. Vehicular bridge to Engineer's details.
Control chamber, below ground crates and headwalls – details to be provided.	To Engineer's details



### Planting strategy

The aim of the planting scheme is to provide a strong landscape structure for the Development that promotes its visual integration into the wider landscape context. The planting is differentiated for each of the landscape typologies of the development, promoting a rich variety of open space characters. It is selected to reflect the variety of open spaces use and the site conditions.













Trees are used to create a planting structure that is appropriate in scale to that of the proposed buildings and open spaces. Planting species are proposed to be predominantly native to ensure visual integration into the landscape context and to promote the creation of natural habitats. Ornamental planting, using species of value to wildlife where possible, is introduced in places where year-round interest and variety is of relevance.

The private front gardens offer additional opportunities for ornamental planting, adding interest and local distinctiveness to the development. The areas of amenity grassland and grassland verges aim to evoke the local open space character typically found in Fulbourn.

Where possible, significant existing planting is retained and integrated into the development to make an immediate positive visual and ecological contribution to the development following construction.



#### KEY

-  Application boundary
-  Other Land Under Applicant's Control
- Planting strategy - Open spaces**
-  Existing vegetation
-  Existing trees to be retained
-  Proposed trees
-  Existing Woodland to be retained
-  Habitat retention/ translocation areas  
Grasslands/Scrub mosaic + log piles  
Hibernacula. Existing grassland/ scrub to be retained. For details refer to Reptile Mitigation Strategy report by ecologist.
-  Existing landscape retained  
Existing natural habitat/ grassland/ scrub to be retained. For details refer to Ecologist details.
-  Retained landscape with additional grassland as required
-  Proposed Meadow  
Product: Emorsgate Seeds' EM2  
standard general purpose meadow mix  
Supplier: Emorsgate seeds
-  Bio retention basins  
Product: Flora Aqua  
(70% Wildflowers and 30% Grasses)  
Supplier: Tillers Turf
-  Proposed native buffer planting Type A
-  Proposed native buffer planting Type B
-  Proposed native plant mix
-  Linear Park  
Proposed lawn: Lindum Festival Landscape Turf - LT7
-  Linear Park  
Proposed planting
-  Proposed flowering lawn
-  Proposed aquatic / marginal planting
- Planting strategy - around built areas**
-  Proposed Road verges  
Product: Species Rich Lawn Turf  
Product code : WFT-Species-Rich-26  
Supplier : Wildflower Turf Ltd
-  Private Front Gardens  
Shrubs and perennials
-  Proposed hedge
-  Proposed climbers
- Note: To see planting schedule refer to drg TRF-CBA-M2-L-4011
-  Indicative location of control chamber to Engineer's details
-  Indicative location of below ground crates
-  Indicative location of headwall to Engineer's details
-  Existing Chalk Stream
-  Existing Pond



**Proposed meadow**

Product: Emorsgate Seeds' EM2 standard general purpose meadow mix  
 Supplier: Emorsgate seeds



**Proposed on Linear Park**

TREES

- Common Alder (Alnus glutinosa)
- Field Maple (Acer campestre)
- Rowan (Sorbus aucuparia)
- Wild cherry (Prunus avium)

SHRUBS & HERBACEOUS

- Rose (Rosa 'Canary Bird')
- Red-hot pocke (Knipfonia uvaria)
- Common sage (Salvia officinalis)
- Purpletop vervain (Verbena bonariensis)
- Lavender (Lavandula intermedia 'Grosso')
- Snow rush (Lazula nivea)

Bio retention basins within these areas to be planted with: Product: Flora Aqua (70% Wildflowers and 30% Grasses); Supplier: Tillers Turf



Wild cherry (Prunus avium) Rowan (Sorbus aucuparia) Verbena bonariensis (Purpletop vervain)

**Proposed native buffer planting**

- Blackthorn (Prunus spinosa)
- Field maple (Acer campestre)
- Common beech (Fagus sylvatica)
- Hawthorn (Crataegus monogyna)
- Holly (Ilex aquifolium)
- Common oak (Quercus robur)



Prunus spinosa (Blackthorn) Acer campestre (Field Maple) Ilex aquifolium (Common holly)

**Proposed ornamental shrub planting/lawn (For Play area and landscaped open spaces)**

TREES

- Field maple (Acer campestre)
- Crab apple (Malus sylvestris)
- Celly pear 'Chanticleer'

SHRUBS & HERBACEOUS

- Ninebark 'Diabolo' (Physocarpus opulifolius 'Diabolo')
- Ninebark 'Luteus' (Physocarpus opulifolius 'Luteus')
- Wilds privet (Ligustrum vulgare)
- Corkscrew rush (Juncus effusus)
- Lavender (Lavandula intermedia 'Grosso')
- Pachysandra terminalis 'Green Carpet' (Japanese spurge)
- Rose (Rosa 'Canary Bird')

LAWN:

- Lindum Festival Landscape Turf - LT7



Physocarpus opulifolius 'Diabolo' (Ninebark) Lavandula intermedia 'Grosso' (Lavender) Rosa 'Canary Bird' (Rose)

**Planting strategy around built areas**

Proposed Road verges

Product: Species Rich Lawn Turf; Product code : WFT-Species-Rich-26

Supplier : Wildflower Turf Ltd



Private Front gardens

TREES

- Field maple (Acer campestre)
- Silver birch (Betula pendula)
- Snowy mespilus (Amelanchier lamarckii)

HEDGE

- Cherry Laurel 'Otto Luyken' (Prunus laurocerasus 'Otto Luyken')

SHRUBS & HERBACEOUS

- English lavender (Lavandula angustifolia 'Hidcote')
- Coneflower (Rudbekia)
- Great wood-rush (Luzula sylvatica)
- Hebe Mrs Winder
- Purple cranesbill (Geranium magnificum)
- Purpletop vervain (Verbena bonariensis)
- Common columbine (Aquilegia)

LAWN

Product: Premium grade turf



Cherry Laurel 'Otto Luyken' (Prunus laurocerasus 'Otto Luyken') Hebe Mrs Winder Geranium magnificum (Purple cranesbill)



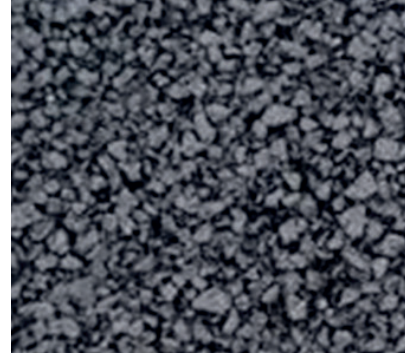
### 3.3 HARD LANDSCAPE

Comment Raised by Consultee	Design Response
Paving and boundary treatment around substation is unclear. Applicant to confirm.	Refer to dwg TRF-CBA-1-GF-M2-L-1010 and 1011 for details on the boundary treatment to the substation. Image reference provided in DAS Addendum.
Proposed brendon paving within the Pumping House Pond area leads 'nowhere' SE of the site. Applicant to amend pedestrian footpath layout.	The existing footpath within the Pump House garden has been retained in order to minimise the risk of disturbance to existing trees. A hedge is proposed at the eastern extent of the footpath in order to provide a sense of enclosure. Ref dwg TRF-CBA-1-GF-M2-L-2001.
Meadow Park (Western field) - Pedestrian decking to the north of plots 38, 41-47 is unlikely to be used. Generally, 'dog walkers' tend to walk around the peripheral of the site.  Applicant to remove decking path and create a new mown path. Line of path to run along existing woodland, cross the stream and join the new path to the north of plot 85.	An additional path has been provided in order to provide access to the perimeter path. No path has been provided along the southern edge of the woodland in order to minimise disturbance within this translocation area.
LEAP Detail Plan LEAP TRF-CBA-1-GF-M2-L-2000 Rev P1 – Outstanding works:  <ul style="list-style-type: none"> <li>• All benches to have arm rests.</li> <li>• Central decking area appears excessive and to be reduced in size.</li> <li>• Litter bins to be provided with lid/partial cover to reduce wasp hazards in the summer months</li> <li>• “No dog” and age appropriate signage</li> <li>• Detailed design / specifications and maintenance and management plans must be submitted to the District Council for all formal play areas, for approval before work commences.</li> </ul>	Refer to dwg TRF-CBA-1-GF-M2-L-2000 to updated layout and details.
Lighting proposals - to be confirmed	External lighting is provided on a separate drawing by the Engineers (MLM).
Layout of permeable paving is different to Hard Landscape Strategy. Applicant to confirm.	Hard landscape strategy reflects permeable paving areas as advised by the drainage engineers.
Rill / channel drain – Applicant to confirm section detail in relation to pedestrian footpath and existing chalk stream.	To engineer's details



### Hard Material Palette

#### Proposed Finishes



F1. Asphalt - Dark Grey



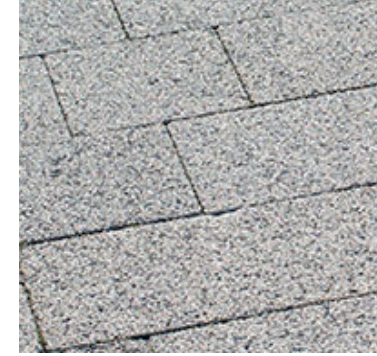
F2. Asphalt - Light Grey



F3. Permeable Concrete Block Paving - Autumn



F4. Concrete Paving



F5. Permeable Concrete Block Paving - Light Grey



F6. Permeable Concrete Block Paving - Harvest



F7. Breedon Gravel



F8. Hardwood Timber Decking with Anti-Slip



F9. Composite Decking - Grey Brown

#### Proposed Boundary Details



Feature Brick Wall



Fence Type 1A: Close Boarded Fence



Fence Type 1B: Palisade Fence



Fence Type 2: Play Area



Fence Type 3: Security



Railing Type 1: Timber



Design Intent for Footbridges



Design Intent for Raised boardwalks



### Hard Landscape strategy

The hard landscaping materials for the development have been carefully selected to complement the local context and to provide suitable paving surfaces that are fit for purpose. The materials are arranged to emphasise the hierarchy of public and private spaces across the site. Shared surfaces are proposed where vehicle routes cross the main public spaces giving pedestrian priority and providing a continuous public realm. Where necessary, hazard paving forms an integral part of the design rather than being an afterthought. Permeable paving has been introduced in places taking into consideration existing water table and drainage across the site.



Site boundary

Other Land Under Applicant's Control

**FINISHES**

- F1. Proposed Vehicular Tarmac Housing Estate Road, To Engineer's specifications  
Colour : Dark Grey
- F2. Proposed Tarmac for Pedestrian Footpaths  
125mm Raised Footpath, To Engineer's specifications, Colour : Light Grey
- F3. Proposed Paving Type 1 - Shared surface. Permeable concrete block paving, Size: 200x100x80 mm thick, Supplier: Aggregate Industries or similar approved, Product : Infilta, Colour: Autumn
- F4. Proposed Paving Type 2 Access Route to Houses / Private Gardens  
Concrete slab paving, Size: 450 x 450 x 50 mm thick, Supplier: Aggregate Industries or similar approved, Product : Andover textured paving, Colour : Light grey
- F5. Proposed Paving Type 3 - Car parks.  
Permeable Concrete block paving, Size: 200 x 100 x 80 mm thick, Supplier: Aggregate Industries or similar approved, Product : Andover textured Infilta permeable paving, Colour : Light grey
- F6. Proposed Paving Type 4 - LEAP access route.  
Permeable Concrete Paving Block, A:160 x 120mm, B:160 x 160mm, C:160 x 240mm, 60 mm thk, Supplier: Marshalls or similar approved, Product: Tegula Priora Harvest
- F7. Proposed Breedon Paths - Pedestrian routes  
Min 12mm grade size, 50mm surface layer after compaction. 150mm MOT Type 1 sub-base with geotextile sheet below. Colour - golden amber.
- F8. Proposed Decking Type 1 For Boardwalks & footbridge; Hardwood timber decking, IPe FSC Hardwood, 21mm thick, 145mm wide, Colour: Natural, Finish: Plain with anti-slip strips
- F9. Proposed Decking Type 2 For Play area  
Composite decking - Terrafina, Supplier- Kinley or similar approved, 21mm thick, 146mm wide, Colour: Grey Brown, Finish: Yacht- grooved,
- F10. Safety Surfacing  
Product: Rubber Bark Chippings. Supplier: Playbond or sim. Colour: Green/Brown  
Depth to suit safety surfacing requirements
- F11. Private terraces  
Concrete slab paving, 600 x 600mm, textured, colour: buff

Uncontrolled crossing to Cambridgeshire CC Estate Road Specification

**KERBS & EDGING**

- Proposed Granite Channels to Roads.  
Size 200 x 100 x 85mm thick, Supplier: Marshalls or similar approved, Colour: Dark grey
- Proposed Kerb - To front of footpath  
125mm upstand, Size: 145 x 255 x 915mm, Supplier: Marshalls or similar approved, Product: Conservation kerb, Colour: Charcoal
- Proposed Edging - to back for footpath  
Concrete Edging, Size: 63 x 150 x 915 mm, Supplier: Marshalls or similar approved, Product: Conservation edging, Colour: Charcoal

NOTE: For external lighting refer to Engineer's drawings (MLM).

**BOUNDARY TREATMENT**

- Feature Brick Wall  
Min. 1.8 m high, 210 thick exposed brick wall, 600 (L) x 280 (w), 50 thick concrete coping, concrete footing to Engineer's specifications
- Fence Type 1 - Fence Between Houses  
Close board fence, 1.8m high, taper sawn, Timber support posts 125 x 100mm, 2.7 m long, with min 3 arris rails, 2.4 m c/c fixed in ground to Manufacturer's specification. Matching entrance gates to be installed where applicable
- Fence Type 1a - Traditional Palisade Fencing, 1.2m high, with pointed pales.
- Fence Type 2 - Fence around Play Area  
1.1 m high, bow top railing (as per RoSPA guidelines), powder coated black, fixing as per manufactures details. Supplier : HERAS or similar approved, Product : Tangorail TR800 play

- Fence Type 3 - Security fence around Sub-station  
Galvanised steel wire mesh fence and gate, 1.8m high, powder coated black
- Railing Type 1 - Timber Railing to Deck and Boardwalk,  
Bespoke timber fence 1.10 m high. Posts at 2.4m c/c fixed in concrete.
- Play Area Gate  
1.1 m high, 1.2 m wide gate with self-closing mechanism (as per RoSPA guidelines), powder coated black. Supplier: Heras or similar approved, Product: Tangorail TR800 play

**Movement of Hedgehogs**  
Free movement of hedgehogs between private gardens and public open space to be facilitated through the provision of openings between them (130mm x 130mm) at ground level. Openings to be provided in every property with Fence type 1 and/or Feature brick wall. To prevent residents from blocking up the openings inadvertently, discreet signage should be provided above the openings to identify the holes as 'hedgehog highways'.

**BRIDGES**

- Vehicular Bridge (To Engineers details and specification)
- Foot Bridge (To Engineers details and specification. For design intent refer to DAS)  
(For detail ref. to TRF-CBA-1-GF-M2-L-8000)
- Indicative location of control chamber to Engineer's details
- Indicative location of below ground crates (as per Engineer's details and specifications)



### 3.4 CONNECTIVITY

Comment Raised by Consultee	Design Response
<b>Consultation Response from Urban Design</b>	
Lack of sufficient communal garden space for residents at two of the blocks of apartments	The area provided for communal gardens has been increased to meet requirements.
Parking	
The hedges adjacent the flatted units facing the public realm should also be kept below a height 1m to allow natural surveillance from the dwellings over that space.	This will be reflected in the landscape MMP.
Connectivity	
The perimeter footpath is only shown as mown grass on the 'hard landscaping strategy' drawing but should be a hardstanding material to provide a defined pedestrian path. This footpath should also be relocated to be further away from the walls and dwellings on the north and south sides of the site to avoid graffiti being drawn on these walls.	In response to comments received, the perimeter path has been adjusted to receive a Breedon gravel paved finish - ref dwgs TRF-CBA-1-GF-M2-L-1010 and 1011.
The Design & Access Statement and the site plans such as the 'hard landscaping strategy' (drawing ref. TRF-CBA-1-GF-M2-L-1011) do not address lighting proposals at the site. I request the applicant submits details about lighting proposals.	External lighting proposals are provided by the Engineers (MLM) on a separate drawing.
Given the context of the site and the change in levels, it is important that long site sections are submitted to demonstrate the relationship between the proposed dwellings and the wider landscape including the water features. The three main parcels of land for the dwellings are being raised and so sections are required to reflect steps and ramps on the site. These are not shown on site and is a concern on how the transition from built development to the landscape takes place.	Updated site sections are provided on dwgs TRF-CBA-1-GF-M2-L-1010 and 1011. The raised building parcels include space for external circulation at FFL level. Transitions into the landscape are indicated on dwgs TRF-CBA-1-GF-M2-L-1010 and 1011. A refinement of site levels will be subject to detail design.
The 'Illustrative landscape masterplan' and page 52 of the 'Design and Access Statement' indicates the presence of 3 informal play areas. I request the applicant submits information about hard details of these for me to assess these.	The 3 informal play areas are surfaced in lawn only. The play features consist primarily of natural stone boulders.



### Pedestrian and Cycle Network

The internal layout has been designed to ensure pedestrian and cyclist movement is prioritised, with a combination of shared surface and segregated footways provided. As illustrated, there will be a central pedestrian route that will promote movement in a north east/ south west direction.

Situated at the centre of the development is a large area of green amenity space for residents that will provide connectivity along pedestrian desire lines, as well as encouraging the integration between residents and their surroundings by maximising accessibility.

Further south of the site the primary footway will bifurcate providing access to each area of the development, with raised tables provided at transitions to areas of shared space.



Figure 36. Pedestrian, Cycle Access and Circulation



### 3.5 PUBLIC OPEN SPACE

#### Public Open space and play strategy

The network of existing and proposed green open spaces on site are broadly categorised into accessible public open space and other landscape areas. The accessible public open space includes the Meadow park (western and eastern fields), the Linear Park and the Pump House Garden. There are proposed formal and informal play opportunities for varied age groups spread across the site. The other landscape areas comprise mainly of existing vegetation, existing woodland, existing areas to be retained for its ecological value and the proposed boundary planting.



Figure 37. Public Open Space and Play Strategy

**KEY**

- Application Boundary
- Other Land Under Applicant's Control
- Accessible Public Open Space (Meadow park, Linear park, Formal & Informal Play areas, etc.)
- Other Landscape Areas (proposal boundary planting, existing vegetation, existing woodland, etc.)
- Local Equipped Area for Play (LEAP)
- Informal Play



Local Equipped Area for Play



1 Cradle Nest Special



2 Toddler Twin Swing



3 Stepping Stones



4 Slide



5 Wobble Dish



6 Logs



7 Large Spinner



8 Little Chicken



9 Small Hexagonal Hut with roof



10 Bespoke Timber Logs



11 Boulders



12 Bespoke Feature Play Area



13 Mount Ridge Play Unit



Figure 38. Local Equipped Area for Play (LEAP)



Public Open Space, Pump House Garden



- For Hard Landscape strategy refer to drawings TRF-CBA-1-GF-M2-L-1010 & TRF-CBA-1-GF-M2-L-1011
- For Planting strategy refer to drawings TRF-CBA-1-GF-M2-L-4000 & TRF-CBA-1-GF-M2-L-4001



### 3.6 ECOLOGY & TREES

Comment Raised by Consultee	Design Response
<b>Consultation Response from Ecology</b>	
Plans are inconsistent. For example, Linear Park is shown to be retained habitat within the Planting Strategy but is not shown within either ecological document as being retained grassland. The categories within the Planting Strategy are confusing. Retained habitat should only apply to habitats retained in situ. Reseeding is not supported on sites which have a diverse seed bank, especially potentially inappropriate species mixes.	Information provided in Landscape Strategy dwgs and Ecology Report have been aligned.
<b>Consultation Response from Trees &amp; Hedgerows</b>	
3D tree pit	All trees are proposed in soft landscaping. A tree pit detail is provided on dwg TRF-CBA-1-GF-M2-L-8500.
The proposed treescape is substantially different to the sylvan character of Fulbourn.	Additional trees have been provided in the revised planning drawings. Additional tree species including those present on site have been added.
The Linear Park appears to be have a lower ground level than surrounding land but is not a attenuation basin - there is no reason this should not be a micro-wood. If there is concern that leaves will somehow fill up this dip the use of conifers, evergreens or semi-evergreens or species with leaves which blow around could be utilised. The attenuation basins by the trees do not appear to enter the RPA but with working zone and grading will have to be carefully managed to ensure it does not creep into the exclusion zone. Please note that the extent of the trees on the tree survey plans is approximate.	Additional trees and tree species have been provided in the revised planning drawings. The Linear Park includes areas of open grassland to provide amenity areas and areas of informal play.
Meadow Park appears to have a lot of planting on the raised area, where the crates are. I was unable to identify confirmation that there will not be a conflict between soft landscaping and SUDS.	Tree planting has been coordinated with the drainage engineers to avoid clashes with below ground crates.
Missing the Rill/Channel Drain from the road to the Pump House Pond.	A reference to the Rill/Chelles has been added to the landscape drawings.
Ref: TRF-CBA-1-GF-M2-L-1010 (1) Confused by the location of the boardwalks in the Pump House Woodland. The Arb document states these are 'to avoid direct excavation impacts to tree roots' but they appear sporadically used. What is the importance of these locations or why are the Breedon path sections unimportant?	The boardwalk section is in a location where the path is located in immediate proximity to existing trees. The Breedon gravel paths will be constructed using a no-dig construction method where they are located within the RPA of existing trees.



Comment Raised by Consultee	Design Response
Ref: TRF-CBA-1-GF-M2-L-1011: Planting schedule - insufficient.	The planting schedule and planting strategy have been amended in response to comments received, ref dwgs TRF-CBA-1-GF-M2-L-4000 - 4017.
Planting 27 trees of four species. One third no good for pollinator forage. Only a quarter live to a reasonable age. Nothing long lived. Nothing landmark.	as above
The Parish specifically request fruit trees - this does not need to be a formal orchard.	as above
Planting 1 of 6, 2 of 6, 3 of 6, 4 of 6, 5 of 6, 6 of 6 - insufficient.	as above
Use of Kilmarnock willow in this type of planting scheme. Shouldn't this type of overgrown hedgerow scrub reflect the character existing of the hedgerows, some of which are to be removed? Existing hedgerows: hawthorn, ash, cherry, elm and blackthorn.	as above
Meadow mix in Pump Pond Park.	A general meadow mix is proposed in the Pump House Garden. If an alternative seed mix is required, this would need to be advised.
Lack of tree planting.	The planting schedule and planting strategy have been amended in response to comments received, ref dwgs TRF-CBA-1-GF-M2-L-4000 - 4017.
Little red line boundary area? Blue on other plans.	The boundary line has been changed to blue - other land under applicant's control.
Use of Prunus spinosa and Ilex by play area. Shouldn't this mix be something more interesting?	The planting schedule and planting strategy have been amended in response to comments received, ref dwgs TRF-CBA-1-GF-M2-L-4000 - 4017.
Insufficient garden tree/specimen shrub planting.	as above
Lack of tree planting detail. Insufficient garden tree/specimen shrub planting.	as above
Linear park lack of tree cover - where is the microwood? This is not a SUDS area?	Additional trees and tree species have been provided in the revised planning drawings. The Linear Park includes areas of open grassland to provide amenity areas and areas of informal play.
A: Planting Play Area: Use of Prunus Plena. Use of birch. No landmark trees in open space nor at bend. No long-lived species.	as above
B: Use of Plena. Not landmark. No long-lived species.	as above
C: Use of Plena. No landmark. No long-lived species.	as above







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